

A Guide to Detached Residential Garages and Residential Workshops

(based on 2012 BCBC)



This bulletin is a guide only, prepared to assist homeowners and contractors, and is not to be considered as a substitute for RDOS Bylaws and Regulations and current editions of the BC Building Code

The following information outlines the Development Services basic requirements for detached single storey accessory buildings. The purpose of this brochure is to explain to owners and contractors the minimum application requirements.

Building Requirements

A building permit is required for all accessory buildings over 10m² (108 ft²).

A detached accessory building of less than 10 m² (108 ft²) in building area used for storage purposes only may be placed or constructed without a building permit provided it does not create a hazard and further provided that such building complies with the zoning requirements and any other applicable provisions of a development area or restrictive covenant.

Detached garages less than 55 m² (592 ft²) in building area do not require a conventional foundation. Larger buildings require a conventional footing and foundation wall design as per BC Building Code 9.15.

Building Permit Submission

Applications must include the following

- Building permit application form and deposit of \$150
- Two sets of plan on 11x17" minimum paper
- Site plan (a survey by a BCLS may be required for setbacks and/or height depending on design)
- Foundation/Floor Plan
- Elevations
- Cross Section
- Truss layout including point loads & engineered beams (as applicable)
- Current title search and copies of any registered easements, covenants or right of ways

Energy Efficiency Requirements

Effective December 19, 2014 all building permit applications must address the requirements of Section 9.36 (Energy Efficiency) of the BC Building Code.

Detached garages are exempt from meeting these requirements if the space is unconditioned space. A space is considered conditioned if there is mechanical equipment installed which controls either the heating or cooling of the building over substantial portions of the year.

If the proposed building contains any such mechanical equipment, additional information will be required at the time of permit application. Upon submission, it will be necessary to outline:

- Proposed heating/cooling systems
- Location and type of air barrier and vapour barrier
- Detailed wall/ceiling/floor assemblies including effective insulation values of all components
- "U" ratings of proposed windows and doors

General Conditions

- All zoning and development requirements must be met (Development Variance Permit, Watercourse Development Permit, Hillside Development Permit or Environmentally Sensitive Development Permit)
- All work materials and construction must comply with the current BC Building Code
- Approval from a Registered Waste Water practitioner (or qualified engineer) will be required if the structure contains plumbing facilities (if the property is serviced by a septic system).
- Gas and Electrical Codes and permit requirements, where applicable, must be complied with - Safety Authority – 250-487-4488 (gas) or 250-487-4483 (electrical)
- A set of drawings must be available at the jobsite for inspection purposes

Planning Requirements

The street address and legal description are required to determine the zoning of your property. The zone will determine the setbacks, maximum height and the maximum site coverage allowed for the new detached garage (see table below for an example of zoning restrictions)

A detached garage is not permitted without a principal use on a property. A principal use is typically a dwelling unit.

To determine the zoning requirements for your property you may refer to the parcel information on the RDOS website at www.rdos.bc.ca or alternatively contact Planning Services at 250-490-4107.

EXAMPLE ONLY

Bylaw #2457 - Zone	RS1	RS2	RM1	SH2	LH
Front parcel line	7.5 m	7.5 m	6.0 m	7.5 m	7.5 m
Rear parcel line	1.0 m	1.0 m	1.5 m	1.5 m	7.5 m
Interior side parcel line	1.0 m	1.0 m	1.5 m	1.5 m	4.5 m
Exterior side parcel line	4.5 m				
Maximum height	5.5 m	5.5 m	5.5 m	5.5 m	10 m
Parcel Coverage	35%	35%	40%	20%	10/35%

Processing Your Application

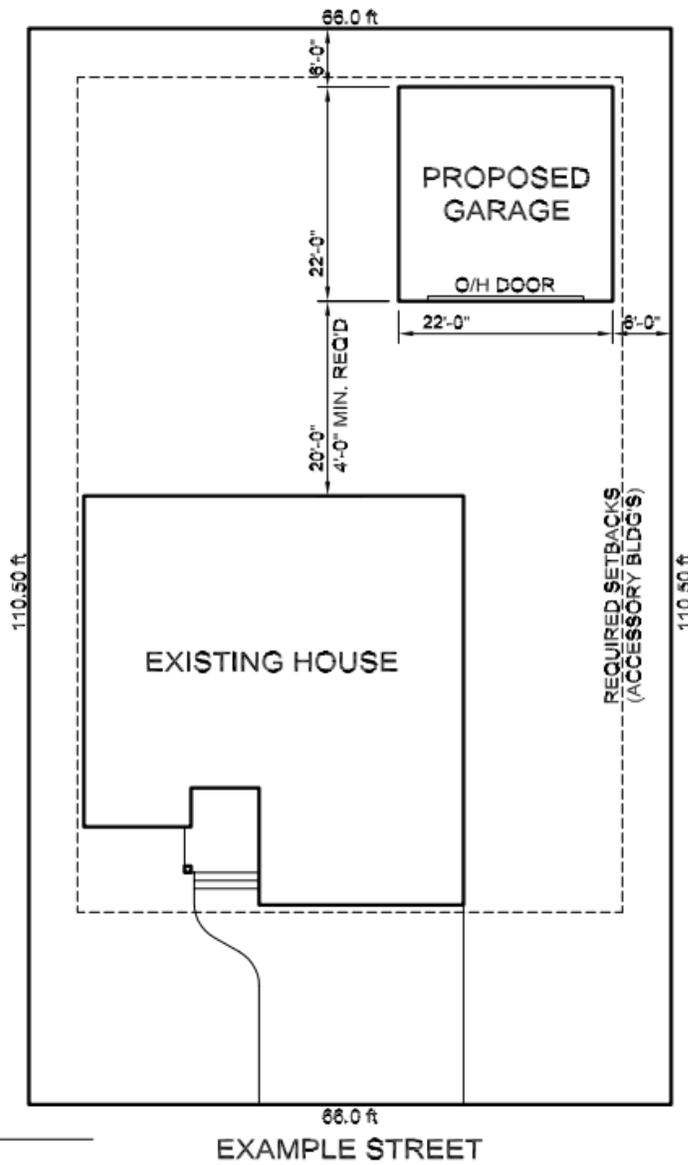
Detached garage fees are based on a value determined by square footage of the structure. As at 2017, the construction value is determined at \$430/m² or \$40/ft². The permit fee is \$12.00 per \$1,000 of the construction value based on size. The minimum permit fee is \$150.00, however, the minimum permit for a structure over 55 m² (592 ft²) is \$300.00

Most building permit applications will be processed within four to six weeks. With your cooperation in submitting complete applications, we will be able to provide better and faster service. If the requirements set out in this brochure are not met, the application may be rejected. Please note that additional information such as a survey plan and floor plans of existing house, etc. may be required to confirm compliance with the zoning bylaws and the BC Building Code. Further enquiries may be directed to Building Services at 250-490-4108.

Sample Plans

The attached sample plans are included as an example of the expected level of detail & information required for a building permit application and should not be reproduced for inclusion with your application.

Confirm required setbacks with the appropriate zoning bylaw for your property.

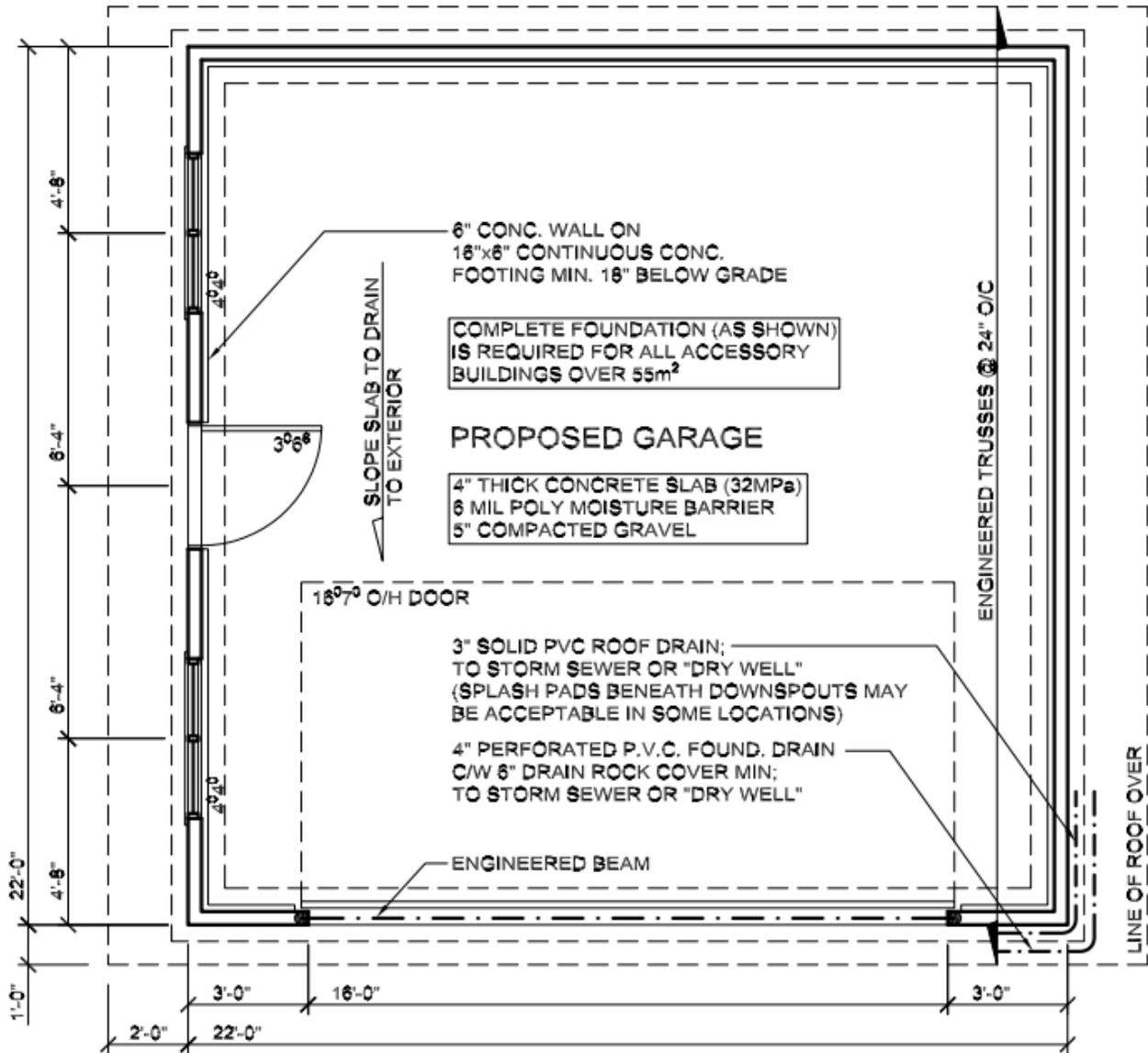


Site Plan should include the following:

- Scale not less than 1/8" (1:100)
- Legal description, north arrow and civic address
- Property dimensions
- Size of all setbacks from property lines and other structures on site
- Dimensions of all buildings to eaves
- Existing & finished grade levels
- Clearly indicate the location of proposed work if adding to the building
- Indicate right of ways, easements or covenants
- Location of septic disposal systems
- Location of driveway and parking spaces
- Location of steep banks & setbacks to natural boundary of any lake, pond, swamp or watercourse

A survey by a British Columbia Land Surveyor (BCLS) will be required if

the proposed building location is within 0.15 m (6") of the required setbacks to parcel lines or watercourse or within close proximity to easement, SROW's or covenant boundaries or if the proposed height is within 10% of the maximum height permitted. A BCLS survey may be required at the discretion of the Building Official where the lot has an irregular shape or the survey iron pins cannot be located.



FOUNDATION / FLOOR PLAN

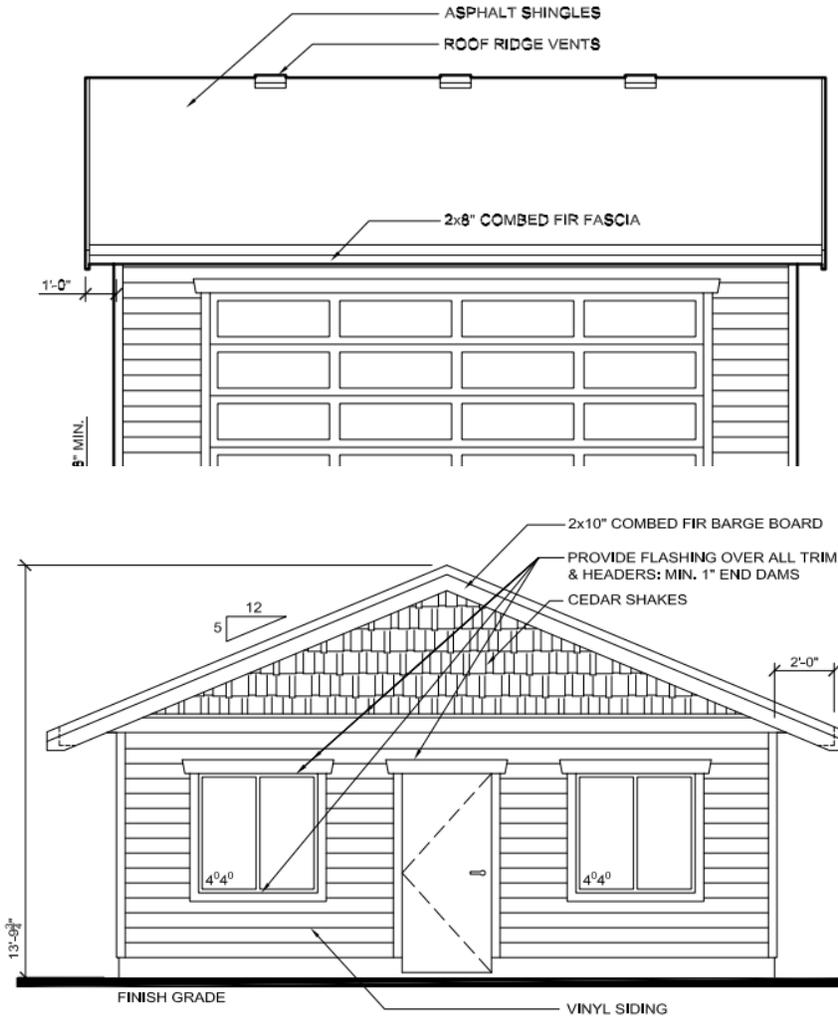
SCALE: $\frac{1}{4}" = 1'-0"$

Floor plans should include the following:

- Scale not less than $\frac{1}{4}"$ (1:50)
- Indicate all outside building dimensions
- Indicate all inside floor dimensions
- Indicate all door and window sizes
- Indicate any or all plumbing fixtures
- Indicate direction, location and size of all joists, beams, lintels, girders, girder supports and trusses
- Clearly indicate proposed work if adding to an existing building
- Label the use of all rooms

FRONT ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$

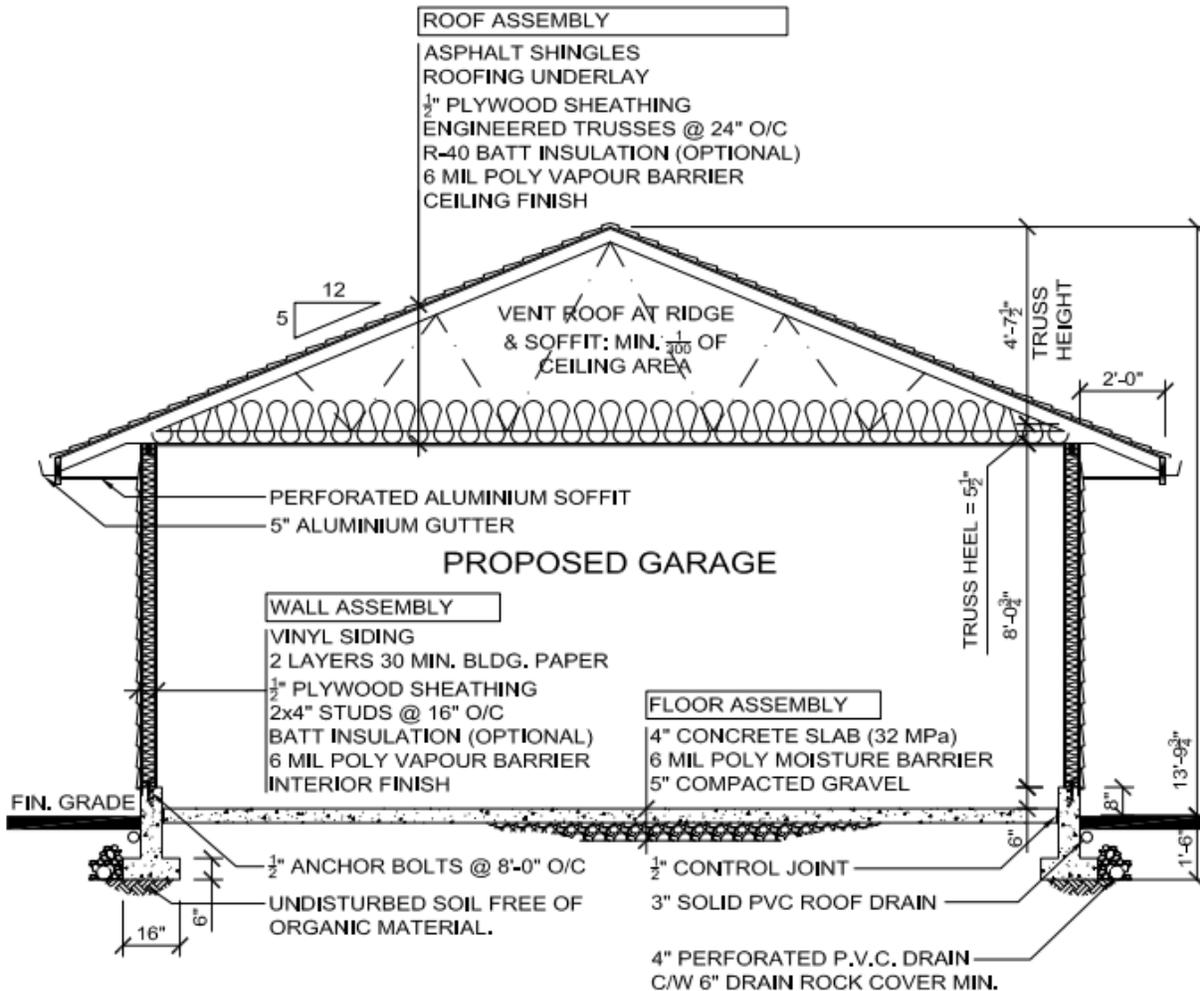


Elevations should include the following:

- Scale not less than $\frac{1}{4}"$ (1:50)
- New buildings – all four elevations (front, rear and two sides)
- Additions and exterior alterations – sufficient number of elevations to adequately represent the proposal
- Exterior cladding – finish details and material of exterior
- Existing and proposed grade elevation numbers including building height at the peak
- Eave overhang dimensions (including gutters)
- Indicate location of all windows, doors and skylights, including sizes
- Indicate the elevation of proposed top of concrete around the perimeter of the building
- Indicate roof pitch and roofing material

LEFT ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$



CROSS SECTION

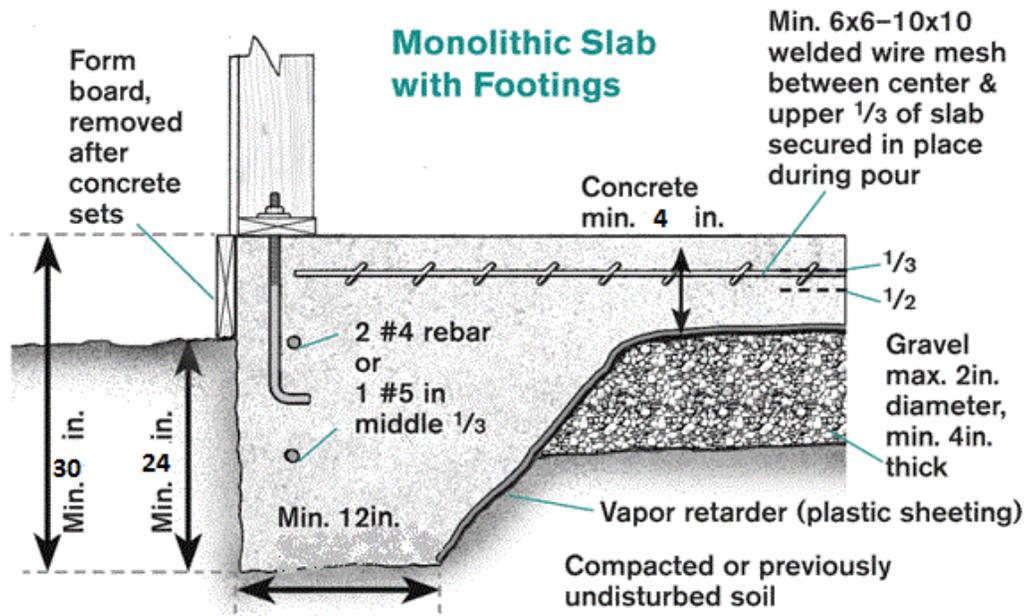
SCALE: 1/4" = 1'-0"

Construction Detail / Cross Sections should include the following:

- Scale not less than 1/4" (1:50)
- Height of all storeys
- Floor, wall, roof and/or ceiling assemblies
- Lintel, beam, joist and stud sizes including spacing and lumber grade
- Footing and foundation wall details
- Drain-tile specification
- Prefabricated roof trusses / laminated wood or steel beams

SAMPLE MONOLITHIC SLABS FOR STRUCTURES LESS THAN 55M²

- 9.35.3.3.** Detached garages of less than 55m² (592 ft²) floor area and not more than 1 storey in height are permitted to be supported on wood mud sills provided the garage is not of masonry or masonry veneer construction.



- 9.15.4.6.** Exterior foundation walls are to extend not less than 150 mm (6") above finished ground
- 9.23.6.1** Anchorage is to be provided by fastening the sill plate to the foundation with not less than 12.7 mm (1/2") diameter anchor bolts spaced not more than 2.4 m (7.8') o.c.
- 9.27.2.4.** Not less than 200 mm (8") clearance between finished ground level and cladding that is adversely affected by moisture (untreated wood, plywood, OSB, waferboard and hardboard)
- 9.28.1.4.** Stucco shall be not less than 200 mm (8") above finished grade

