

GRANT ARMSTRONG

126 DEERFOOT ROAD,
OSOYOOS, BC V0H 1V6

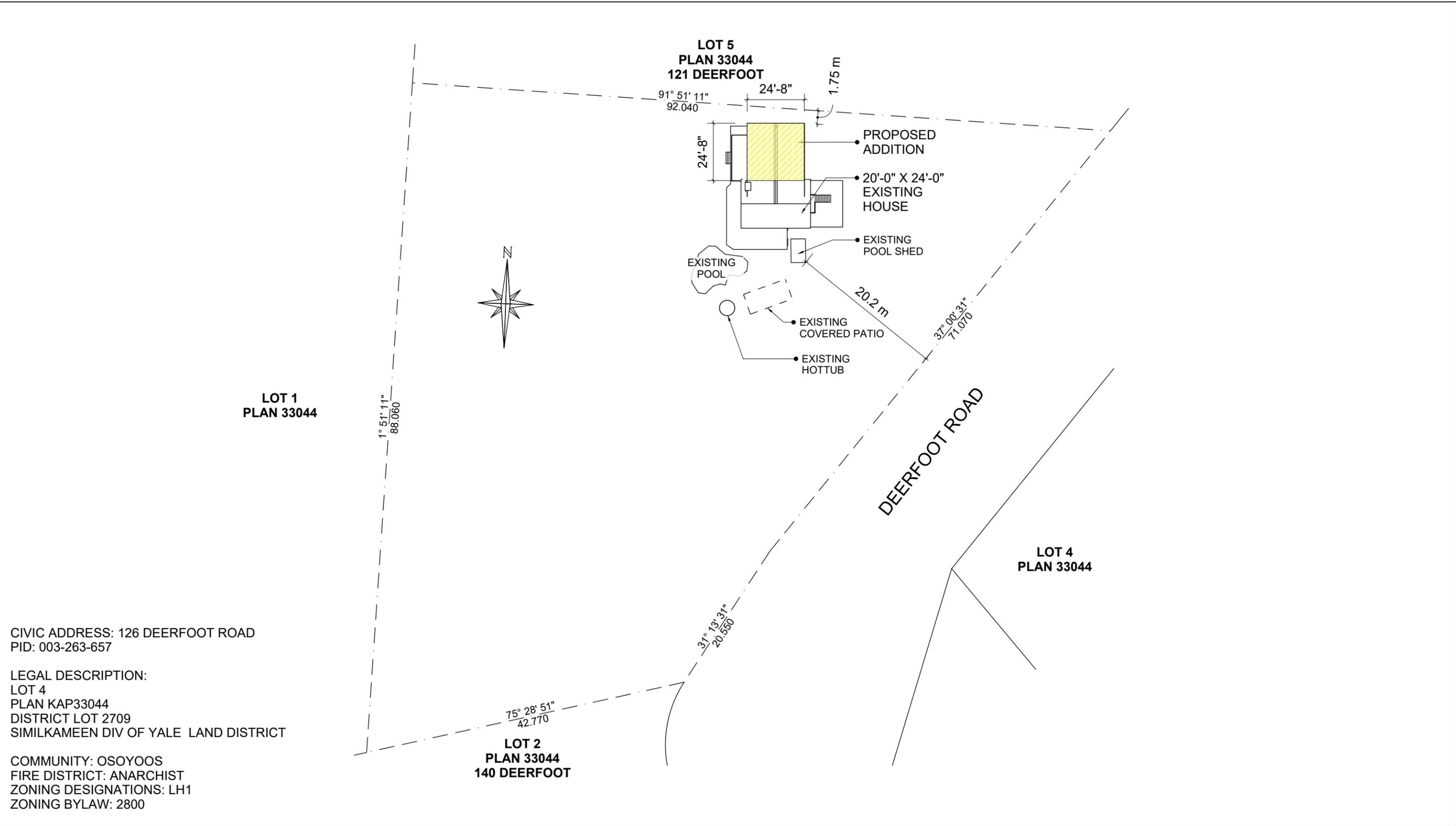


GRANT ARMSTRONG



Dankin Design Studio Ltd.
dankindesignstudio@gmail.com
VERSION #4

July 3, 2024



CIVIC ADDRESS: 126 DEERFOOT ROAD
 PID: 003-263-657

LEGAL DESCRIPTION:
 LOT 4
 PLAN KAP33044
 DISTRICT LOT 2709
 SIMILKAMEEN DIV OF YALE LAND DISTRICT

COMMUNITY: OSOYOOS
 FIRE DISTRICT: ANARCHIST
 ZONING DESIGNATIONS: LH1
 ZONING BYLAW: 2800



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SITE PLAN

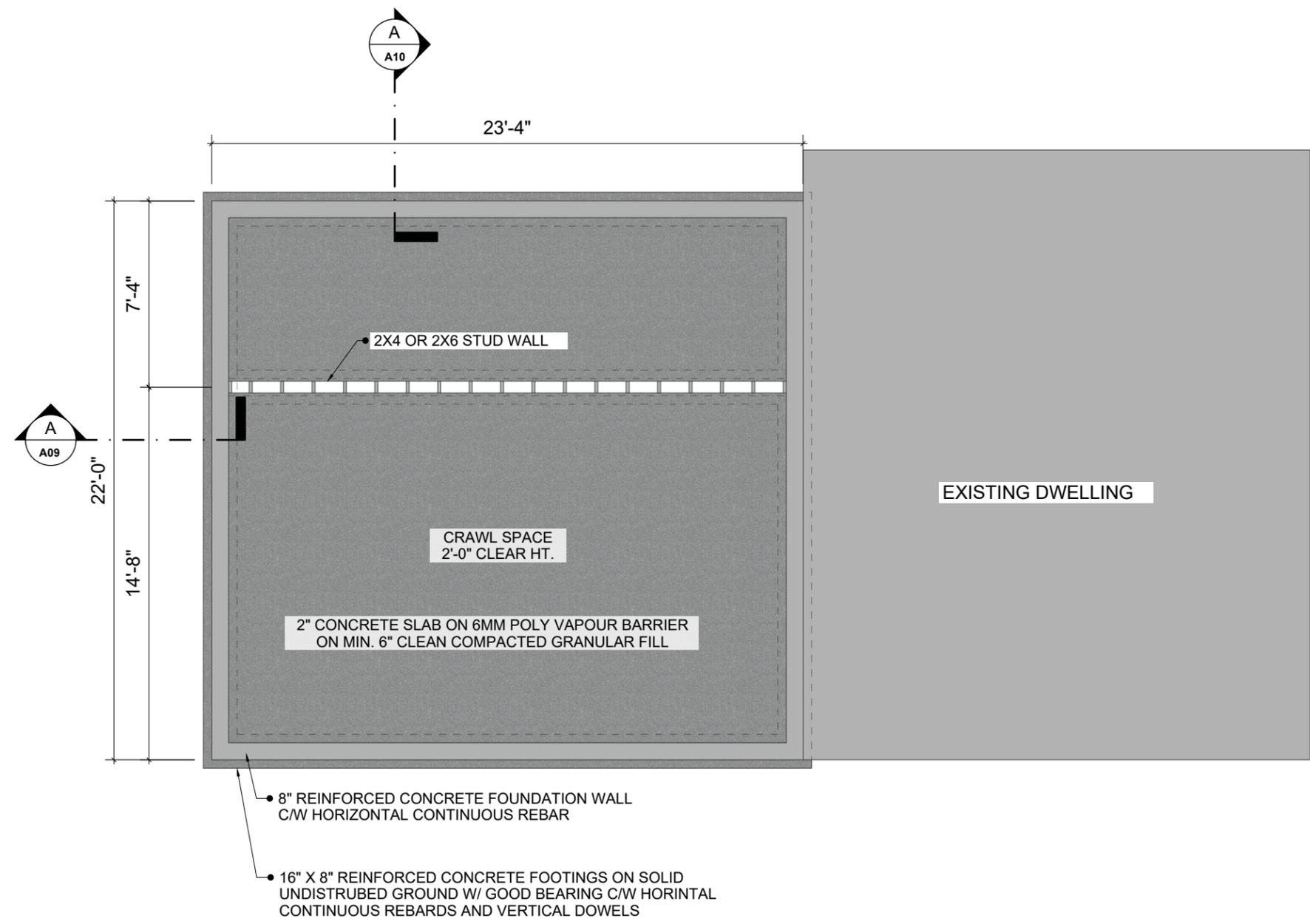
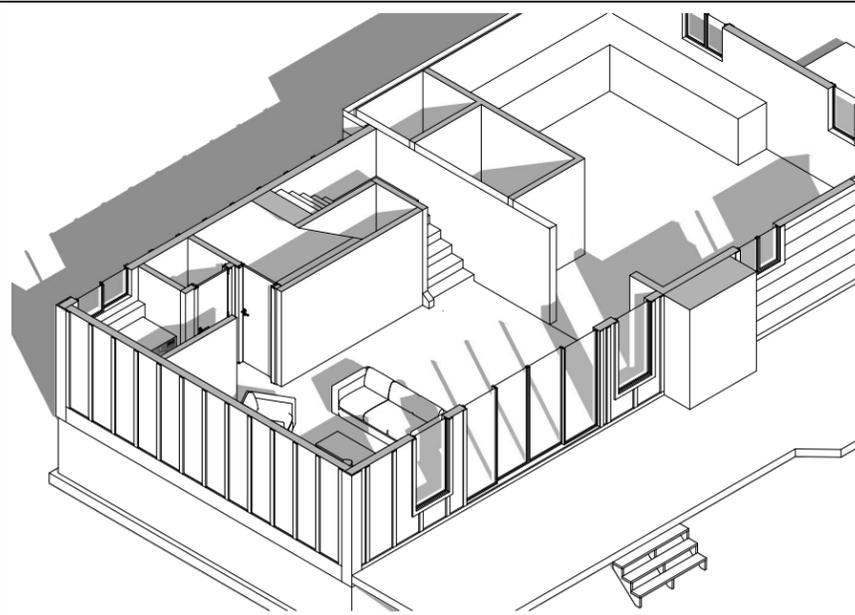
Scale: 3/16" = 1'-0"

REVISIONS

	MM/DD/YY	REMARKS
1	05/31/24	REVISED FLOOR PLAN
2	06/10/24	DESIGN PROPOSAL
3	06/20/24	REVISED DRAWINGS
4	---/---/---	...
5	---/---/---	...

A 01

A



A FOUNDATION PLAN
02 Scale: 3/16" = 1'-0"



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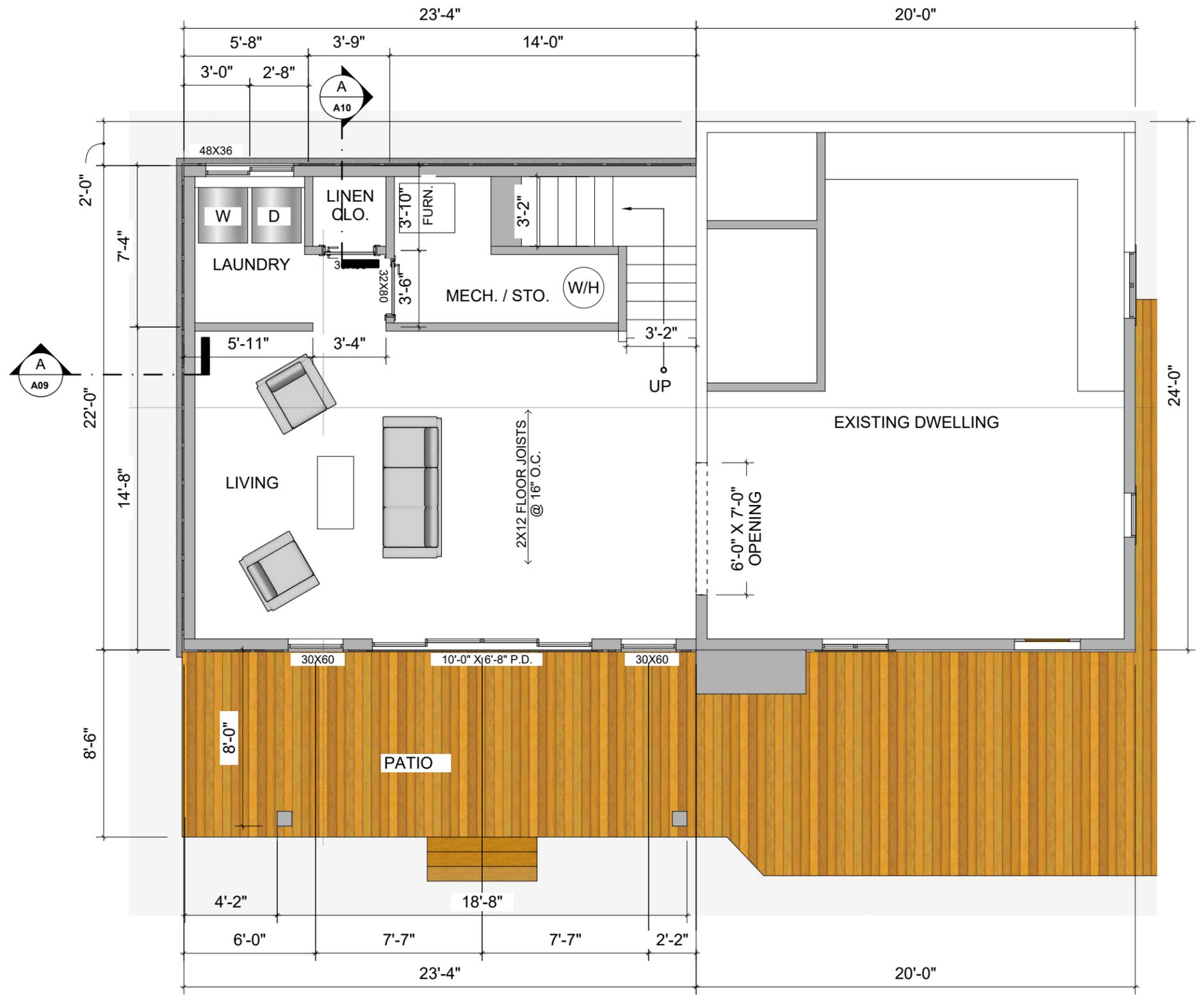
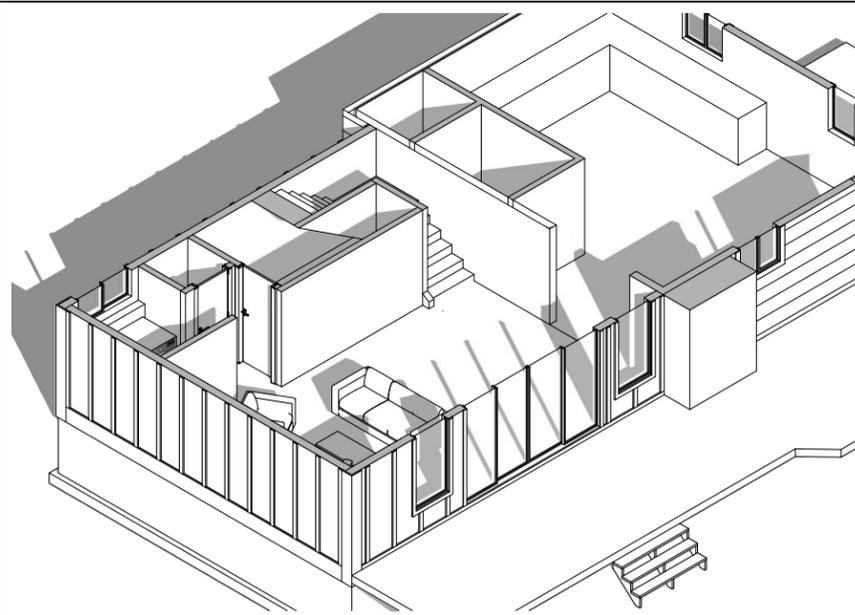
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FOUNDATION PLAN

Scale: 3/16" = 1'-0"

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A 02



A MAIN FLOOR PLAN
03 Scale: 3/16" = 1'-0"



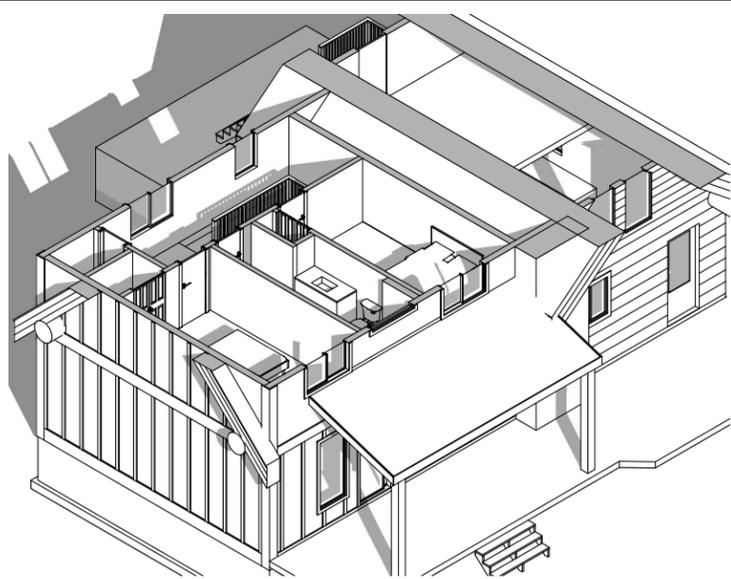
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MAIN FLOOR PLAN

Scale: 3/16" = 1'-0"

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5	---	---



A UPPER FLOOR PLAN
04 Scale: 3/16" = 1'-0"



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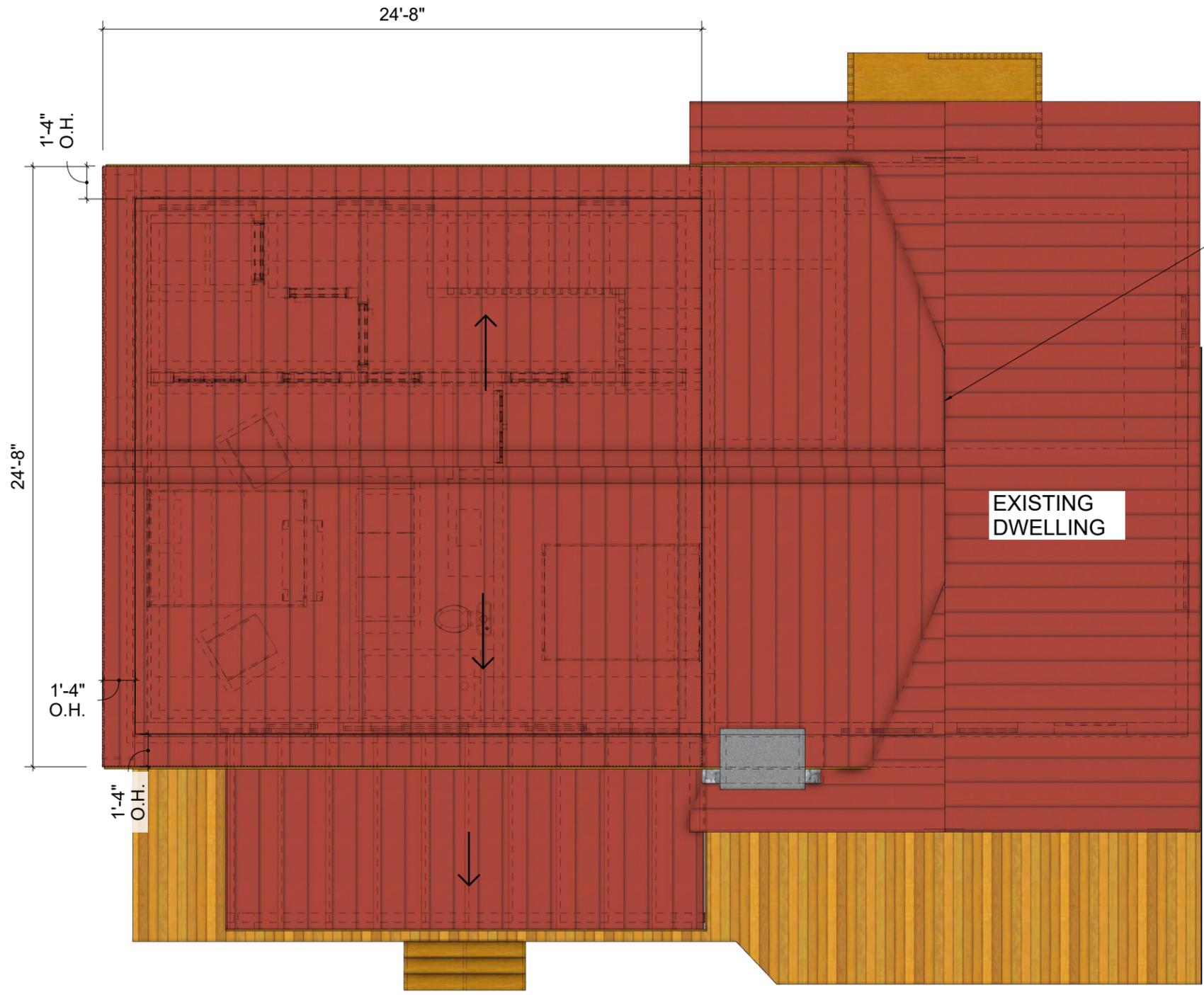
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UPPER FLOOR PLAN

Scale: 3/16" = 1'-0"

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06/20/24	REVISED DRAWINGS
...	...
...	...



• GABLE
NEW ROOF IS HIGHER THAN
EXISTING DWELLING

EXISTING
DWELLING

A ROOF PLAN
05 Scale: 3/16" = 1'-0"



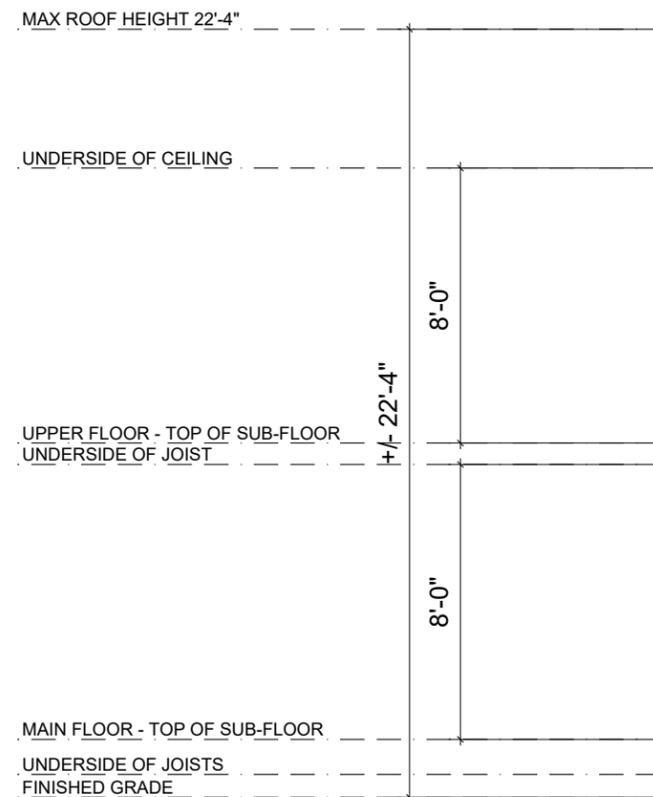
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ROOF PLAN

Scale: 3/16" = 1'-0"

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A
06 ELEVATION 1 - FRONT
Scale: 3/16" = 1'-0"



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ELEVATION 1 - FRONT

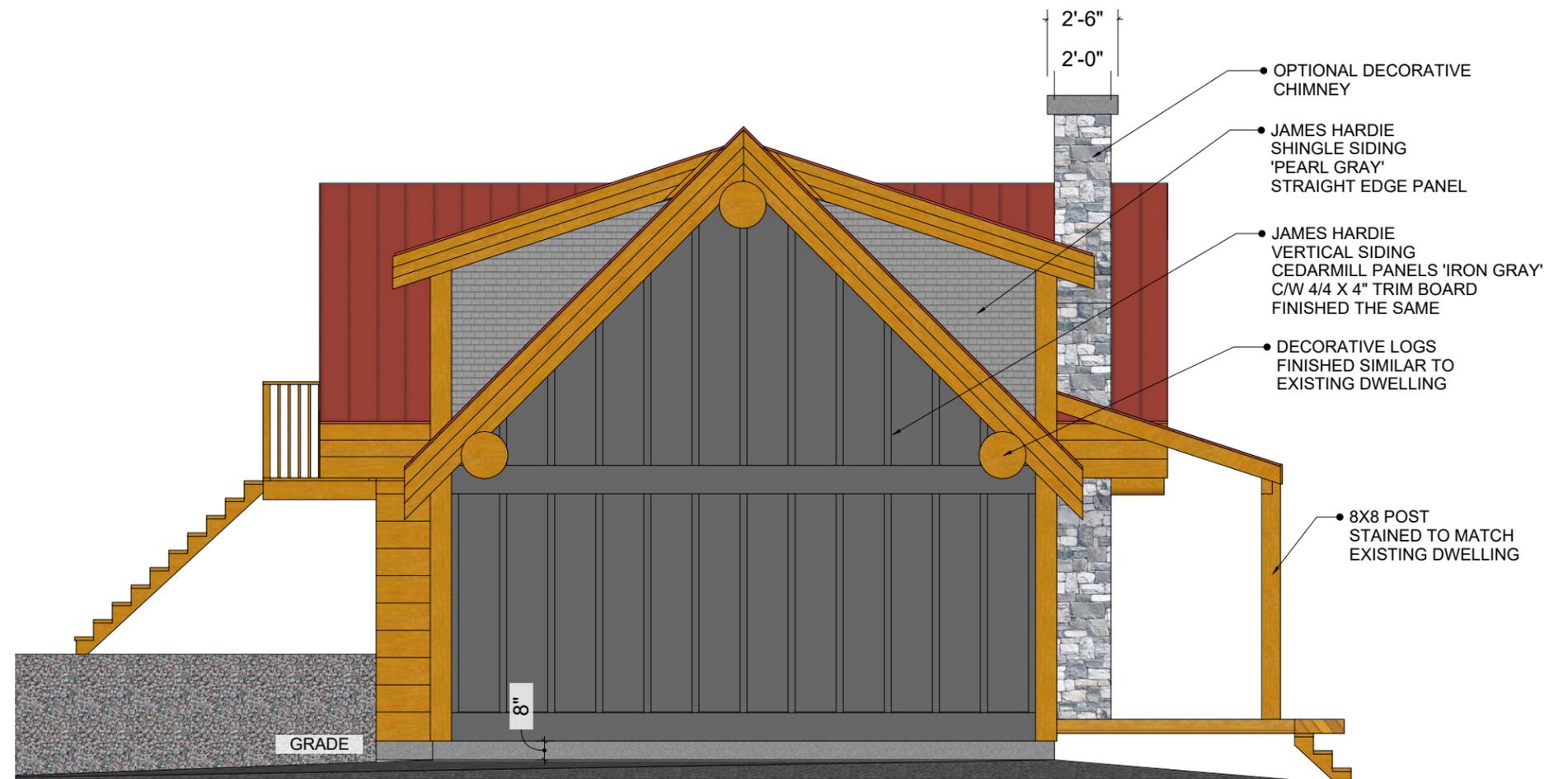
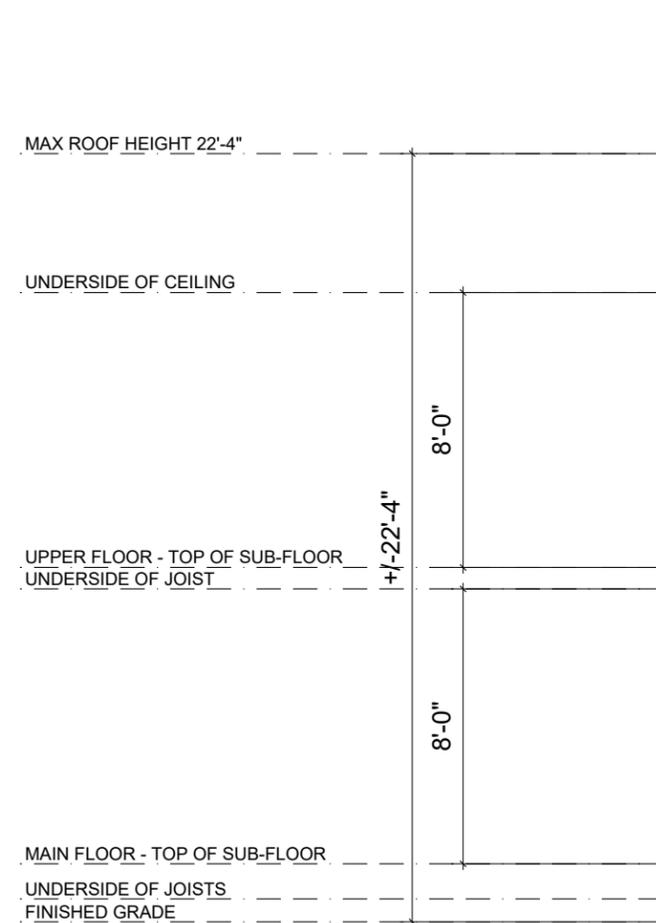
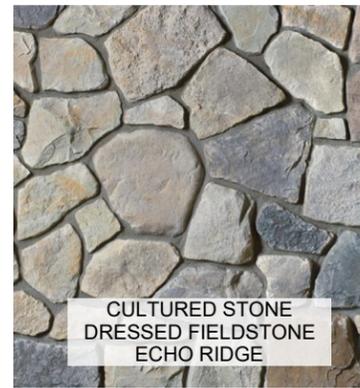
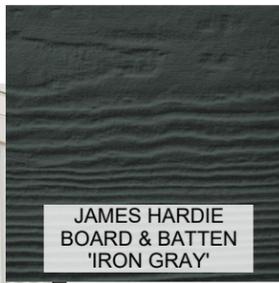
Scale: 3/16" = 1'-0"

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4	---/---/---	...
5	---/---/---	...

A 06

A



A ELEVATION 2 - RIGHT
07 Scale: 3/16" = 1'-0"



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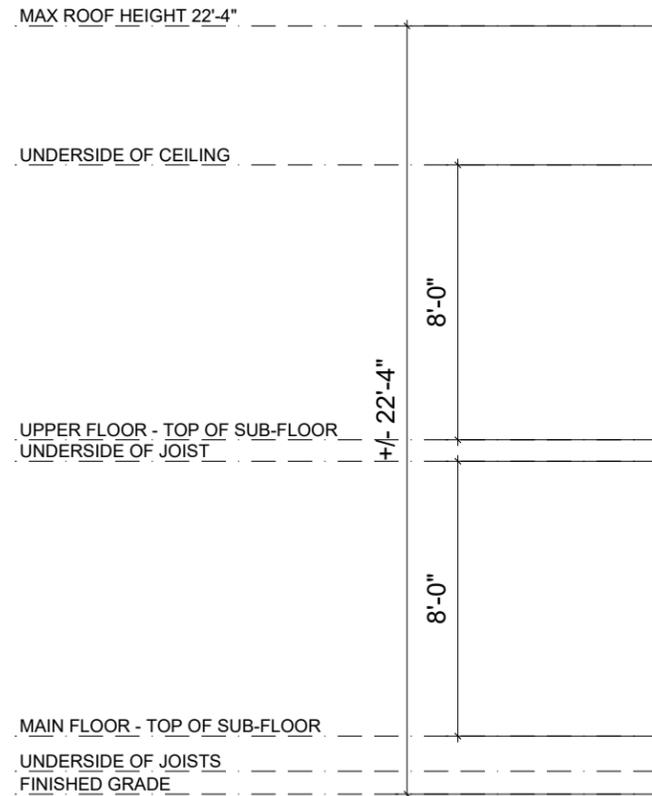
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ELEVATION 2 - RIGHT

Scale: 3/16" = 1'-0"

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3	06/20/24	REVISED DRAWINGS
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5	---/---/---	...



A
08 **ELEVATION 3 - LEFT**
Scale: 3/16" = 1'-0"



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ELEVATION 3 - LEFT

Scale: 3/16" = 1'-0"

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1	05/31/24	REVISED FLOOR PLAN
2	06/10/24	DESIGN PROPOSAL
3	06/20/24	REVISED DRAWINGS
4	---/---/---	...
5	---/---/---	...

08

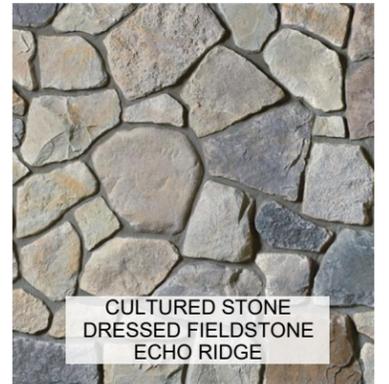
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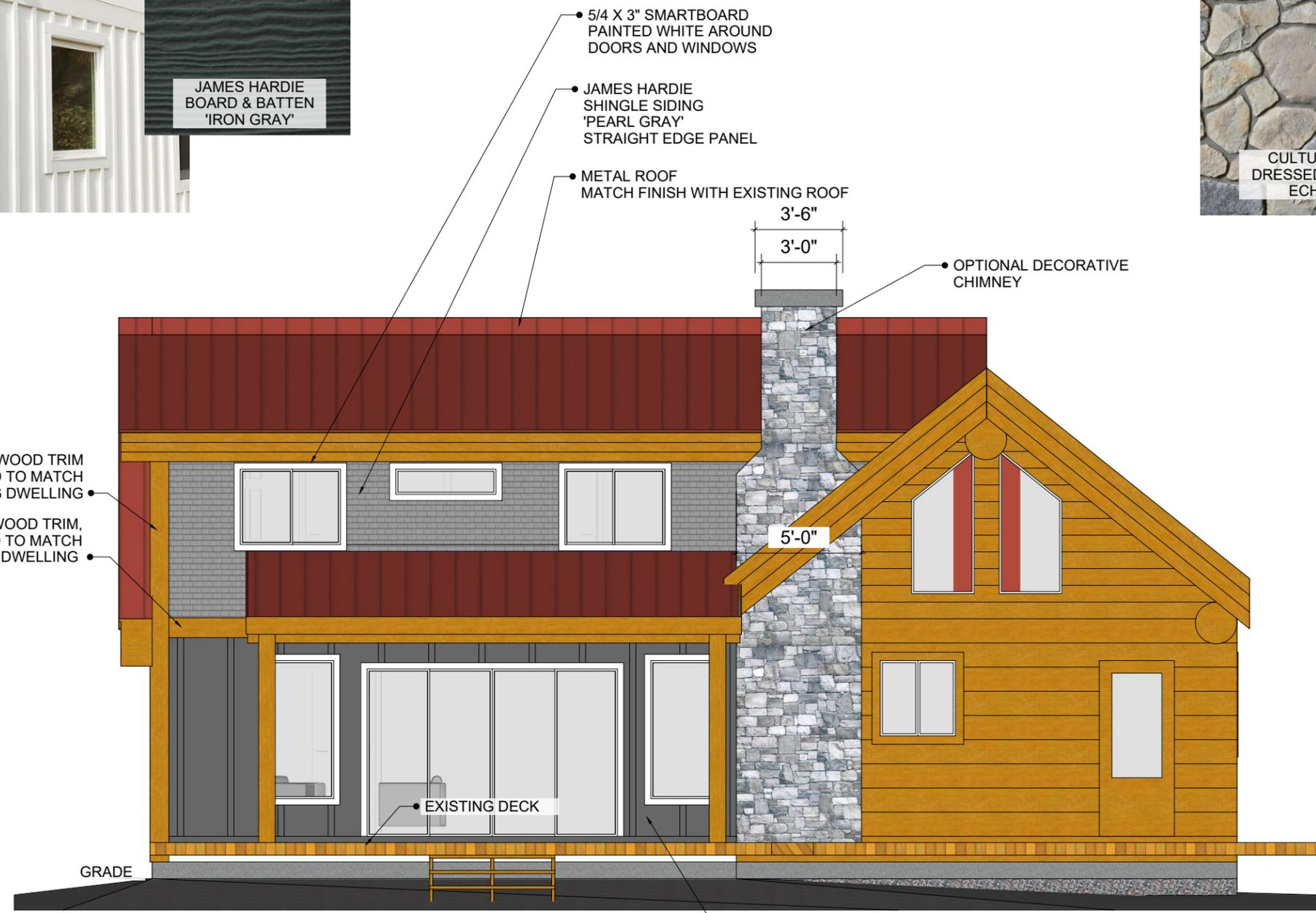
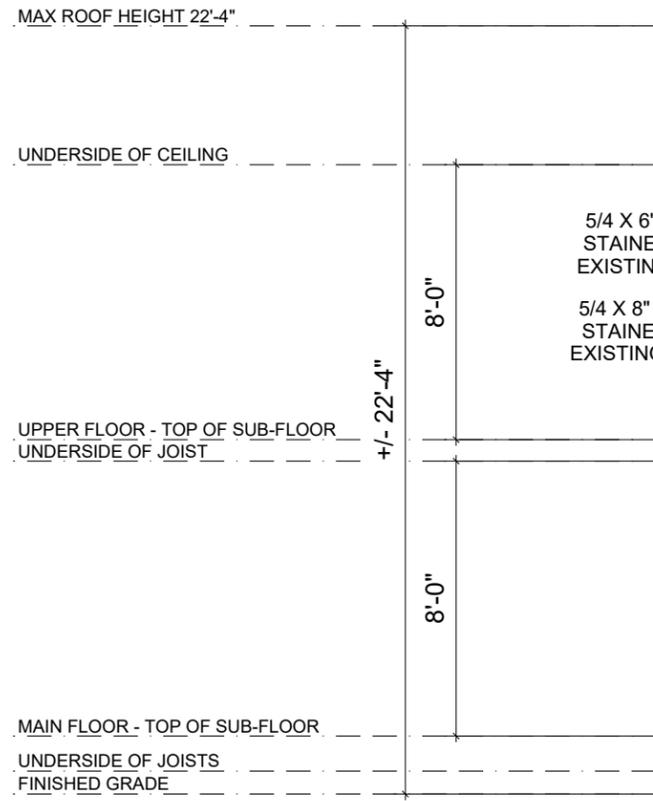
JAMES HARDIE SHINGLE SIDING 'PEARL GRAY'



JAMES HARDIE BOARD & BATTEN 'IRON GRAY'



CULTURED STONE DRESSED FIELDSTONE ECHO RIDGE



- 5/4 X 3" SMARTBOARD PAINTED WHITE AROUND DOORS AND WINDOWS
- JAMES HARDIE SHINGLE SIDING 'PEARL GRAY' STRAIGHT EDGE PANEL
- METAL ROOF MATCH FINISH WITH EXISTING ROOF
- 3'-6"
- 3'-0"
- OPTIONAL DECORATIVE CHIMNEY

- 5/4 X 6" WOOD TRIM STAINED TO MATCH EXISTING DWELLING
- 5/4 X 8" WOOD TRIM, STAINED TO MATCH EXISTING DWELLING

EXISTING DECK

- JAMES HARDIE VERTICAL SIDING CEDARMILL PANELS 'IRON GRAY' C/W 4/4 X 4" TRIM BOARD FINISHED THE SAME

A ELEVATION 4 - REAR
09 Scale: 3/16" = 1'-0"



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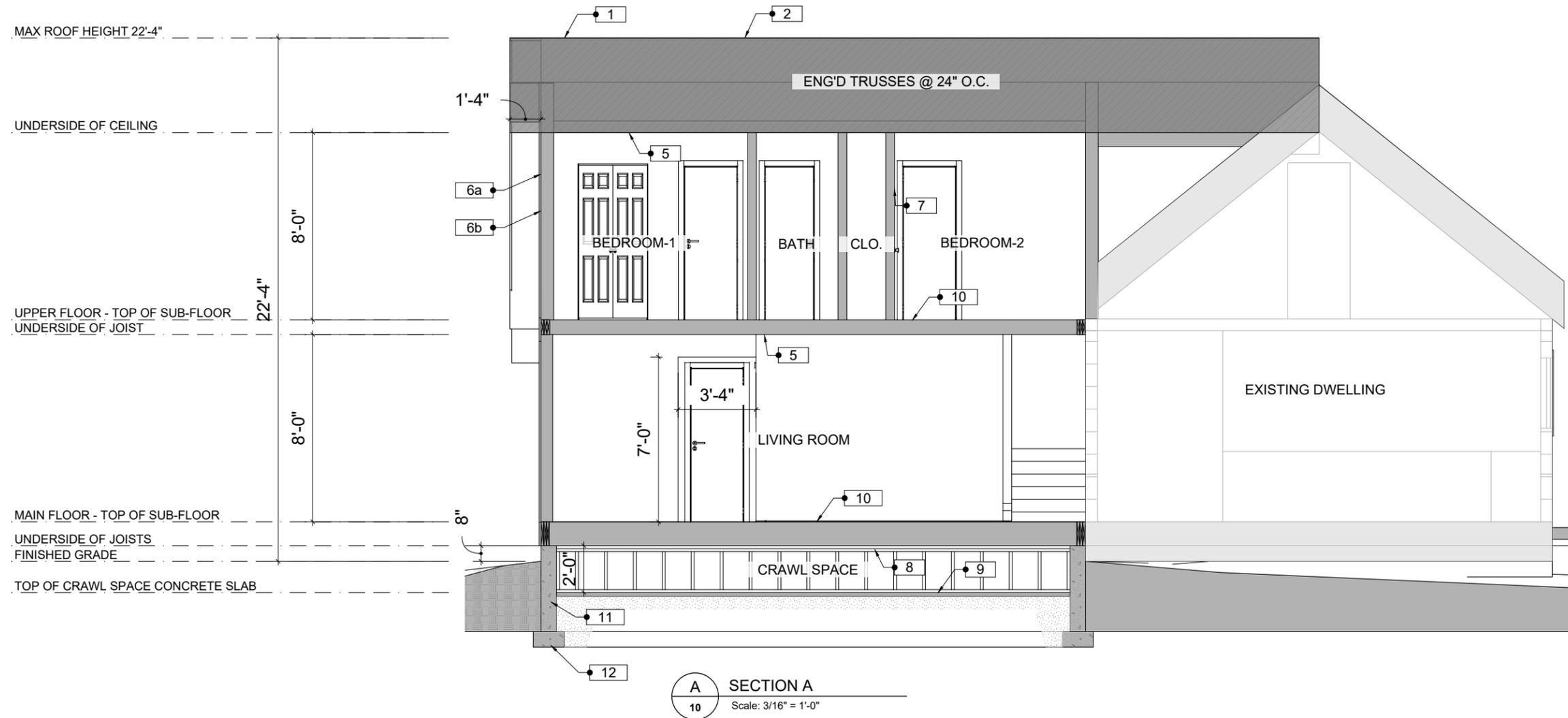
ELEVATION 4 - REAR

Scale: 3/16" = 1'-0"

REVISIONS		
MM/DD/YY	REVISIONS	REMARKS
05/31/24	REVISED FLOOR PLAN	
06/10/24	DESIGN PROPOSAL	
06/20/24	REVISED DRAWINGS	
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A 09

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|---|--|---|---|
| <p>1 ROOFING
- STANDING SEAM METAL ROOF WITH HIDDEN FASTENERS
- FINISH & PROFILE: MATCH EXISTING HOUSE</p> <p>2 ROOF FRAME (TYPE 1) - UPPER FLOOR ROOF
- PREFABRICATED, ENGINEERED 4/12 ROOF TRUSSES @ 24" O.C.
- DESIGN AND HARDWARE BY MANUFACTURER</p> <p>3 ROOF FRAME (TYPE 2) - PATIO ROOF
- 2X6 RAFTERS @ 24" O.C.</p> <p>4 EAVES
- 2X12 FASCIA BOARD, STAINED TO MATCH EXISTING DWELLING
- T&G WOOD SOFFIT</p> | <p>5 CEILING TYPE
- 1/2" GYPSUM BOARD, TAPED, MUD & TAPED. SANDED
READY FOR PAINT
- R-40 BATT TYPE INSULATION</p> <p>6a EXTERIOR WALL FINISHES
- JAMES HARDIE SHINGLE SIDING, PEARL GRAY
- JAMES HARDIE BOARD & BATTEN, IRON GRAY
- CULTURED STONE, DRESSED FIELDTONE, ECHO RIDGE
- 5/4 X 3" SMART TRIM, PAINTED WHITE AROUND
DOORS AND WINDOWS</p> <p>6b - JAMES HARDIE BOARD & BATTEN, IRON GRAY</p> <p>6c - CULTURED STONE, DRESSED FIELDTONE, ECHO RIDGE</p> | <p>7 INTERIOR WALLS
- 1/2" GYPSUM BOARD C/W CORNER BEADS
- 2X4 STUDS @ 16" O.C.</p> <p>8 PONY WALL AT CRAWL SPACE
- 2X4 OR 2X6 STUDS @ 16" O.C.</p> <p>9 CRAWL FLOOR SYSTEM
- 2" CONCRETE SLAB
- 6 MIL. POLY VAPOUR BARRIER
- MIN. 6" COMPACTED, CLEAN, GRANULAR FILL</p> <p>10 FLOOR SYSTEMS
- MAIN FLOOR: FINISHED FLOORING ON 5/8" T&G PLYWOOD,
GLUED AND SCREWED TO 2X12 FLOOR JOISTS @ 16" O.C.
- UPPER FLOOR: FINISHED FLOORING ON 5/8" T&G PLYWOOD,
GLUED AND SCREWED TO 2X8 FLOOR JOISTS @ 16" O.C.</p> | <p>11 CONCRETE FOUNDATION WALL
- 8" THICK CONCRETE FOUNDATION WALL TO 8" ABOVE FINISHED GRADE
- WATERPROOF OUTER FACE OF BELOW GRADE FOUNDATION WITH 2 COATS
ASPHALT EMULSION</p> <p>12 CONCRETE FOOTINGS
- 16"X8" CONCRETE FOOTINGS TO SOLID, UNDISTURBED BEARING WITH 2-10M
HORIZONTAL CONTINUOUS REBARS AND VERTICAL DOWELS @ 4'-0" O.C.</p> <p>13 SUPPORT POST (COVERED PATIO)
- 8" X 8" DOUGLAS FIR POST ON GALVANIZED, HIDDEN POST SADDLE
- FINISH POST W/ STAIN TO MATCH EXISTING DWELLING</p> |
|---|--|---|---|



A SECTION A
10 Scale: 3/16" = 1'-0"



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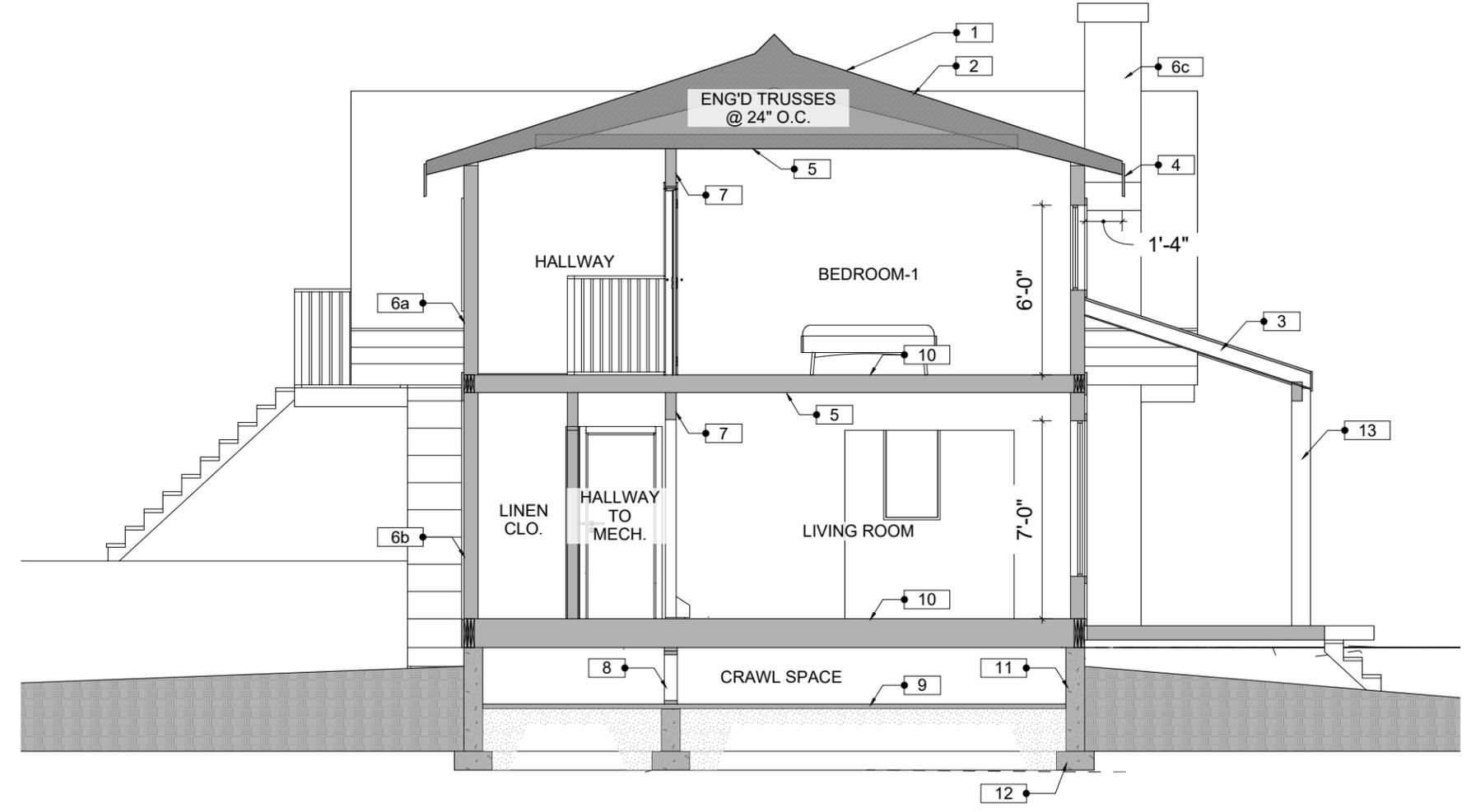
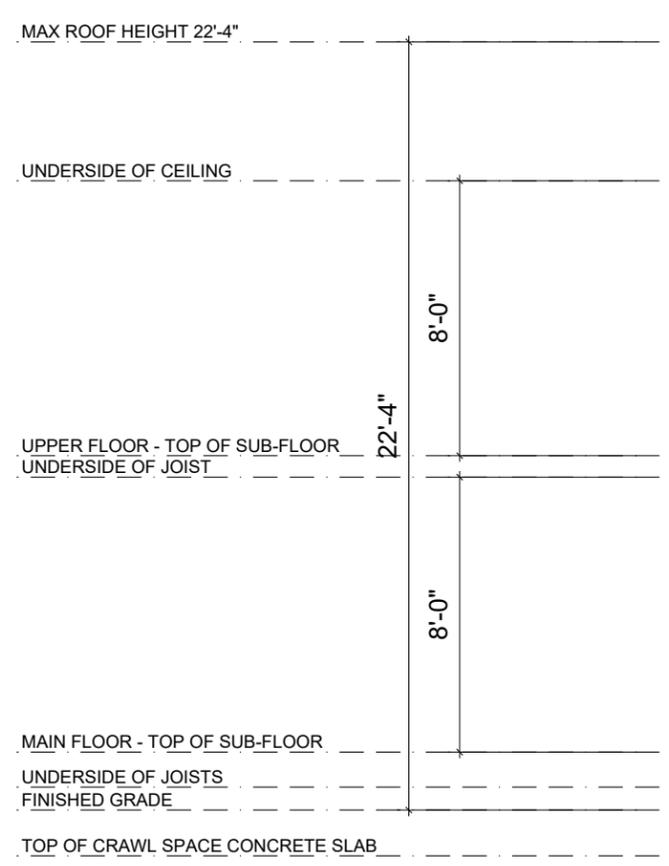
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- JAMES HARDIE SHINGLE SIDING, PEARL GRAY
- JAMES HARDIE BOARD & BATTEN, IRON GRAY
- CULTURED STONE, DRESSED FIELDTONE, ECHO RIDGE
- 5/4 X 3" SMART TRIM, PAINTED WHITE AROUND
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|---|--|---|--|



A SECTION B
11 Scale: 3/16" = 1'-0"



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SECTION B

Scale: 3/16" = 1'-0"

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A
12 PERSPECTIVE
Scale: 3/16" = 1'-0"



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PERSPECTIVE

Scale: 3/16" = 1'-0"

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13 PERSPECTIVE
Scale: 3/16" = 1'-0"



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